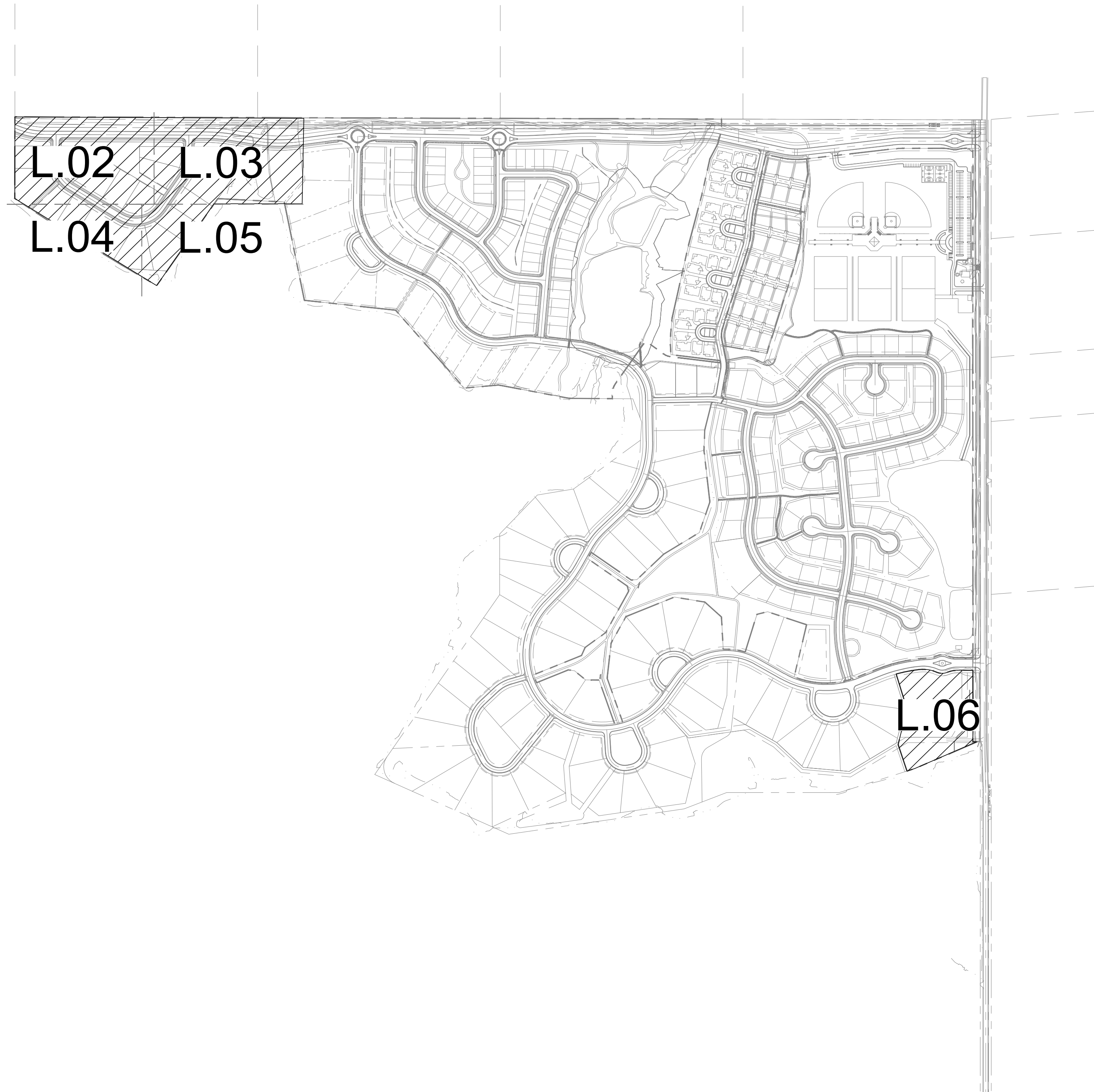
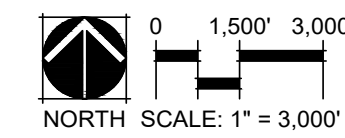
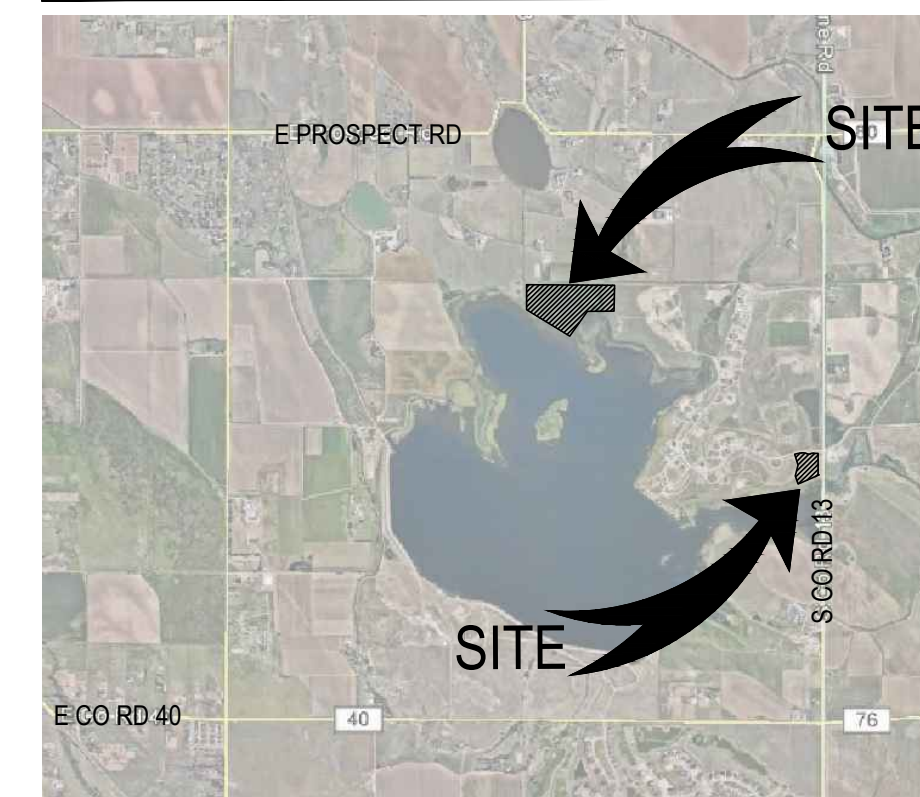


OVERALL SHEET KEY



VICINITY MAP



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CONSULTANTS

OWNER / DEVELOPER:
 WW DEVELOPMENT, LLC.
 4801 GOODMAN RD.
 TIMNATH, CO 80547
 970.674.1109

LANDSCAPE ARCHITECT / PLANNER:
 NORRIS DESIGN
 1101 BANNOCK ST.
 DENVER, CO 80204
 303.892.1166

CIVIL ENGINEER:
 GALLOWAY
 5265 RONALD REAGAN BLVD., SUITE 210
 JOHNSTOWN, CO 80534
 970.800.3300



1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 www.norris-design.com

WILDWING
 4TH FILING
 FINAL LANDSCAPE PLAN
 TIMNATH, CO

OWNER:
 WW DEVELOPMENT, LLC.

4801 GOODMAN RD.
 TIMNATH, CO 80547
 970.674.1109

NOT FOR
 CONSTRUCTION

DATE:
 05/24/19 FP-01
 07/24/19 FP-02

SHEET TITLE:
 COVER
 SHEET

L.00

GENERAL NOTES

- THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS DRAWINGS FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION. ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.

LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- THE CONTRACTOR SHALL REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE GREEN ROLL TOP INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 4" DEPTH. SHREDDED CEDAR LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR LANDSCAPE MULCH.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
- CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 4" x 14 GAUGE GREEN ROLL TOP EDGER, RYERSON OR EQUAL. STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN 40 FT. AND 15 FT. RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN 10 FT. FROM WATER AND SEWER LINES, 4 FT. FROM GAS, TELEPHONE AND ELECTRIC UTILITIES, AND 10 FT. FROM ANY DRIVEWAY.

PLANT LIST

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.	WATER USE
CANOPY TREES					
18	BUR	BUR OAK	QUERCUS MACROCARPA	2" CAL MIN.	VERY LOW
17	CAL	WESTERN CATALPA	CATALPA SPECIOSA	2" CAL MIN.	LOW
13	COT	EASTERN COTONLESS COTTONWOOD	POPULOUS DELTOIDES 'SIOUXLAND'	2" CAL MIN.	MODERATE
17	ESE	EMERALD SUNSHINE ELM	ULMUS PROPINQUA 'JF5-BIERBERICH'	2" CAL MIN.	MODERATE
27	HAC	WESTERN HACKBERRY	CELTIS OCCIDENTALS	2" CAL MIN.	VERY LOW
12	SHA	SHADEMASTER HONEYLOCUST	GLIEDISTIA TRIACANTHOS INERMIS 'SHADEMASTER'	2" CAL MIN.	VERY LOW
23	NRO	NORTHERN RED OAK	QUERCUS ROBUR	2" CAL MIN.	MODERATE
16	PDO	JAPANESE PAGODA TREE	SOPHORICA JAPONICA	2" CAL MIN.	LOW
15	RLI	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2" CAL MIN.	MODERATE
EVERGREEN TREES					
8	AUS	AUSTRIAN PINE	PINUS NIGRA	6" HEIGHT MIN.	MODERATE
10	BOP	BOSNIAN PINE	PINUS HELDREICHII VAR. LEUCODERMIS	6" HEIGHT MIN.	MODERATE
13	PIN	PINION PINE	PINUS EDULIS	6" HEIGHT MIN.	LOW
15	PVP	VANDERWOLF'S PYRAMID PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	6" HEIGHT MIN.	MODERATE
MEDIUM DECIDUOUS SHRUBS					
3	YTD	YELLOW TWIG DOGWOOD	CORNUS SERICEA FLAVIRAMEA	#5 CONT.	LOW
SMALL DECIDUOUS SHRUBS					
22	NWR	NEARLY WILD ROSE	ROSA X 'NEARLY WILD'	#5 CONT.	LOW
ORNAMENTAL GRASSES					
31	BGB	BLONDE AMBITION GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	#1 CONT.	VERY LOW
PERENNIALS					
5	PES	ROCKY MOUNTAIN PENSTEMON	PENSTEMON STRICTUS	#1 CONT.	LOW
8	GAI	BLANKET FLOWER	GAILLARDIA ARISTATA	#1 CONT.	LOW
7	AST	FALL ASTER	ASTER 'PROFESSOR KIPPENBURG'	#1 CONT.	LOW

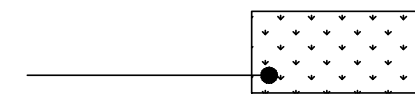
LANDSCAPE REQUIREMENTS CHART

REQUIRED	PROVIDED
TREE LAWN- 1 TREE PER 40 LF OF BLOCK FRONTAGE	5, 128 LF FRONTAGE/ 128 REQUIRED TREES (131 TREES PROVIDED)
20% OPEN SPACE REQUIRED	978, 061 SF X (.20) = 195, 612 SF (267, 813 SF PROVIDED)

SEEDED DURA-TURF TALL FESCUE BLEND



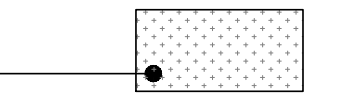
DRYLAND SEED MIX



"FOOTHILLS MIX" BY ARKANSAS VALLEY SEED CO. OR APPROVED EQUAL DRILLED APPLICATION RATE: 25.0 LBS PER ACRE

COMMON NAME	% OF TOTAL
ANNUAL RYEGRASS	20%
SLENDER WHEATGRASS	15%
CRESTED WHEATGRASS	12%
MOUNTAIN BROME	10%
HARD FESCUE	10%
CANADA BLUEGRASS	10%
SIDE-OATS GRAMA	6%
BIG BLUESTEM	5%
BLUE GRAMA (COATED)	5%
SAND DROPSEED	1%
TOTAL	100%

WETLAND REVEGETATION



REVEGETATION SHALL CONSIST OF SITE SPECIFIC PLANTINGS BASED ON HYDROLOGY. PLANTINGS WILL BE A FROM A COMBINATION OF CONTAINER STOCK, TRANSPLANTS AND SEED MIXES. REVEGETATION SHALL MEET MINIMUM MITIGATION REQUIREMENTS OF THE US ARMY CORPS OF ENGINEERS. REFER TO WILDWING PHASE 4 WETLAND MITIGATION PROJECT 03/01/2019

SAMPLE WETLAND REVEGETATION MIX BELOW BY PAWNEE BUTTES SEED, 605 25TH ST. GREELEY CO 80631 OR APPROVED EQUAL. REFER TO WILDWING PHASE 4 WETLAND MITIGATION PROJECT FOR SPECIFIED SEED MIX FOR WILDWING WETLAND AREAS 03/01/2019

COMMON NAME	% OF MIX
ALKALI BULRUSH	15%
CANADA WILD RYE	15%
SWITCHGRASS	15%
INDIANGRASS	12%
PRAIRIE CORN GRASS	6%
SOFT STEM RUSH	6%
NEBRASKA SEDGE	6%
HARDSTEM BULRUSH	4%
OLNEY'S THREESQUARE BULRUSH	4%
POPCORN SEDGE	4%
BALTIC RUSH	4%
WOOLLY SEDGE	3%
CREeping SPIKERUSH	2%
SWAMP MILKWEED	2%
SHOWY MILKWEED	2%
TOTAL	100%

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07/24/19 FP-02

SHEET TITLE:
LANDSCAPE NOTES & PLANT LIST

L.01

NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

WILDWING
4TH FILING
FINAL LANDSCAPE PLAN
TIMNATH, CO

OWNER:
WW DEVELOPMENT, LLC.

4801 GOODMAN RD.
TIMNATH, CO 80547
970.674.1109

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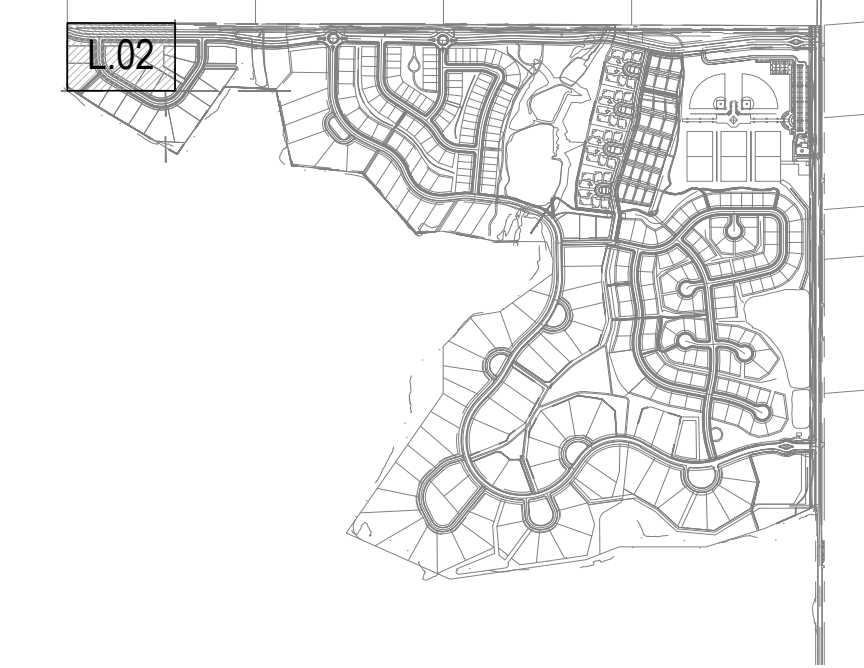
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DATE:
 05/24/19 FP-01
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SHEET TITLE:
 LANDSCAPE PLAN

L.02

KEY MAP



LEGEND

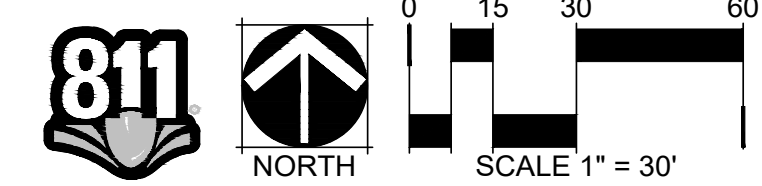
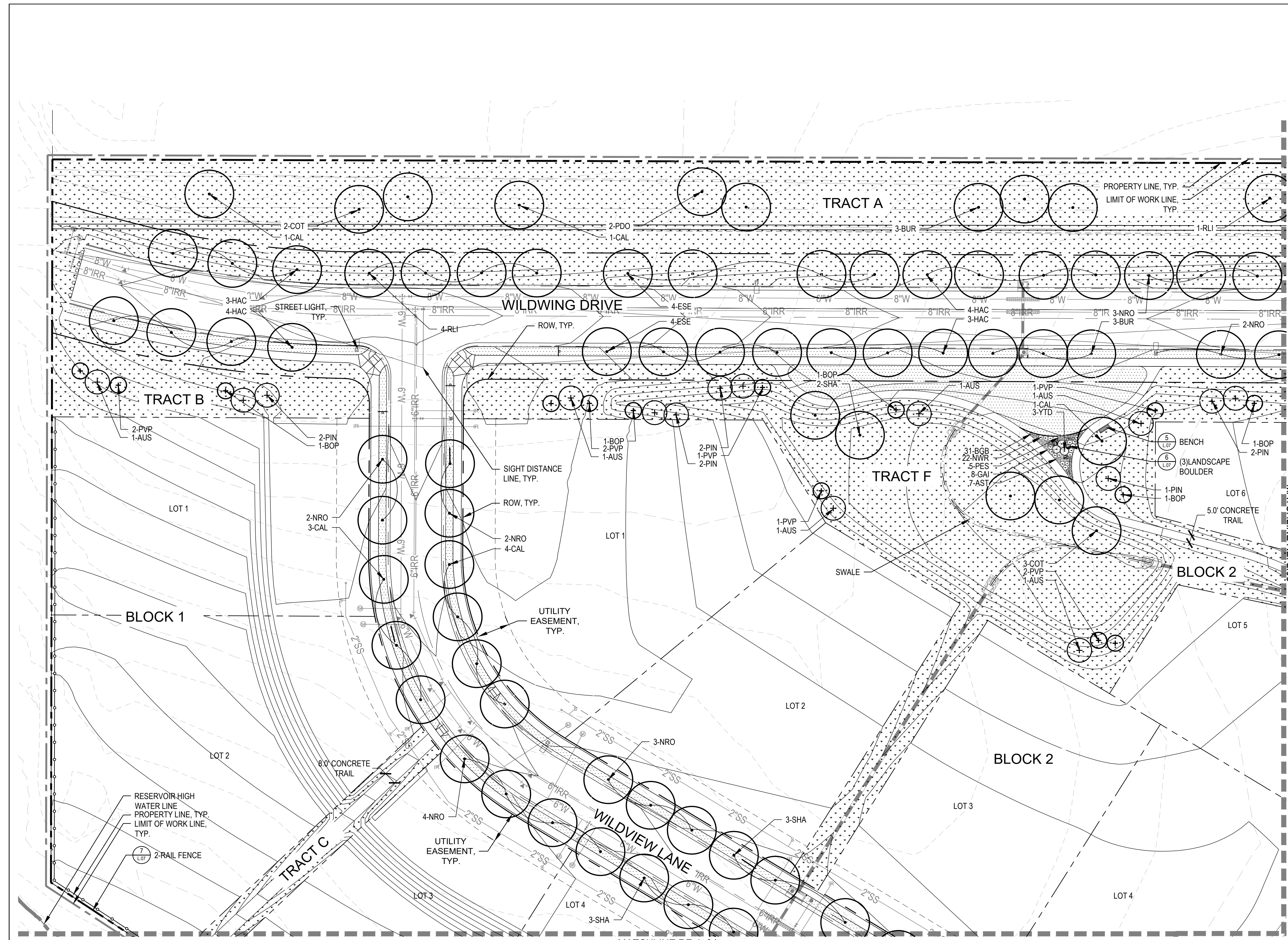
- DECIDUOUS CANOPY TREE
- EVERGREEN TREE
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- ORNAMENTAL GRASS
- PERENNIAL
- TURF GRASS
- SHRUB BED
- DRYLAND NATIVE GRASS
- WETLAND MITIGATION / REVEGETATION AREA
- COBBLE
- PAVING
- 2-RAIL FENCE
- LOT LINE
- STEEL EDGER
- MATCHLINE
- PROPERTY LINE
- LIMIT OF WORK
- SITE LIGHTING

NOTE

1. IRRIGATION DESIGN TO BE COMPLETED FOLLOWING THIS FINAL PLAT SUBMITTAL.
2. FENCING IS SHOWN OFFSET FROM PROPERTY LINES FOR GRAPHIC CLARITY. INSTALL LOCATION SHALL BE ON PROPERTY LINES.

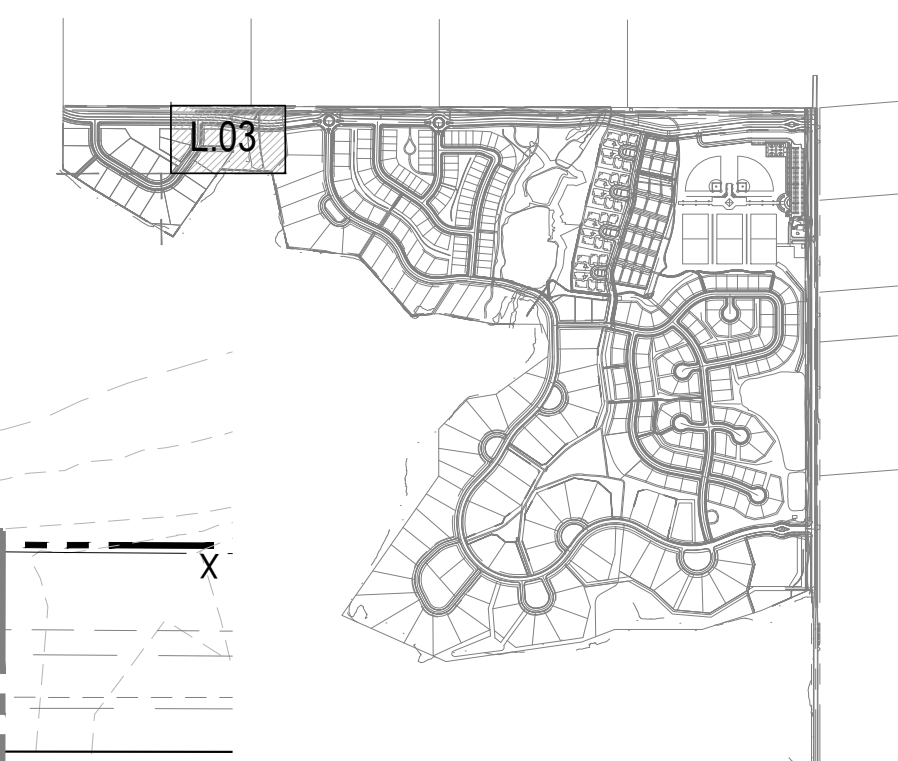
MATCHLINE RE: L.03

MATCHLINE RE: L.04



CHECKED BY: BR, PM
 DRAWN BY: MD, DMH

KEY MAP



WILDWING
 4TH FILING
 FINAL LANDSCAPE PLAN
 TIMNATH, CO

OWNER:
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SHEET TITLE:
 LANDSCAPE PLAN

L.03

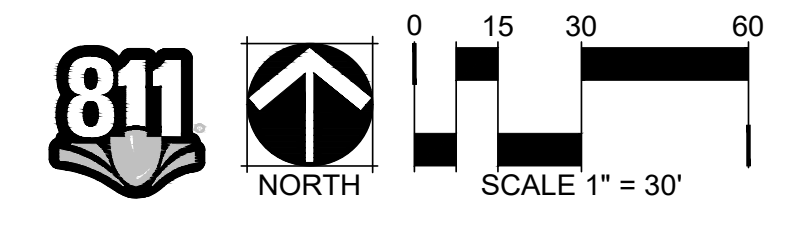
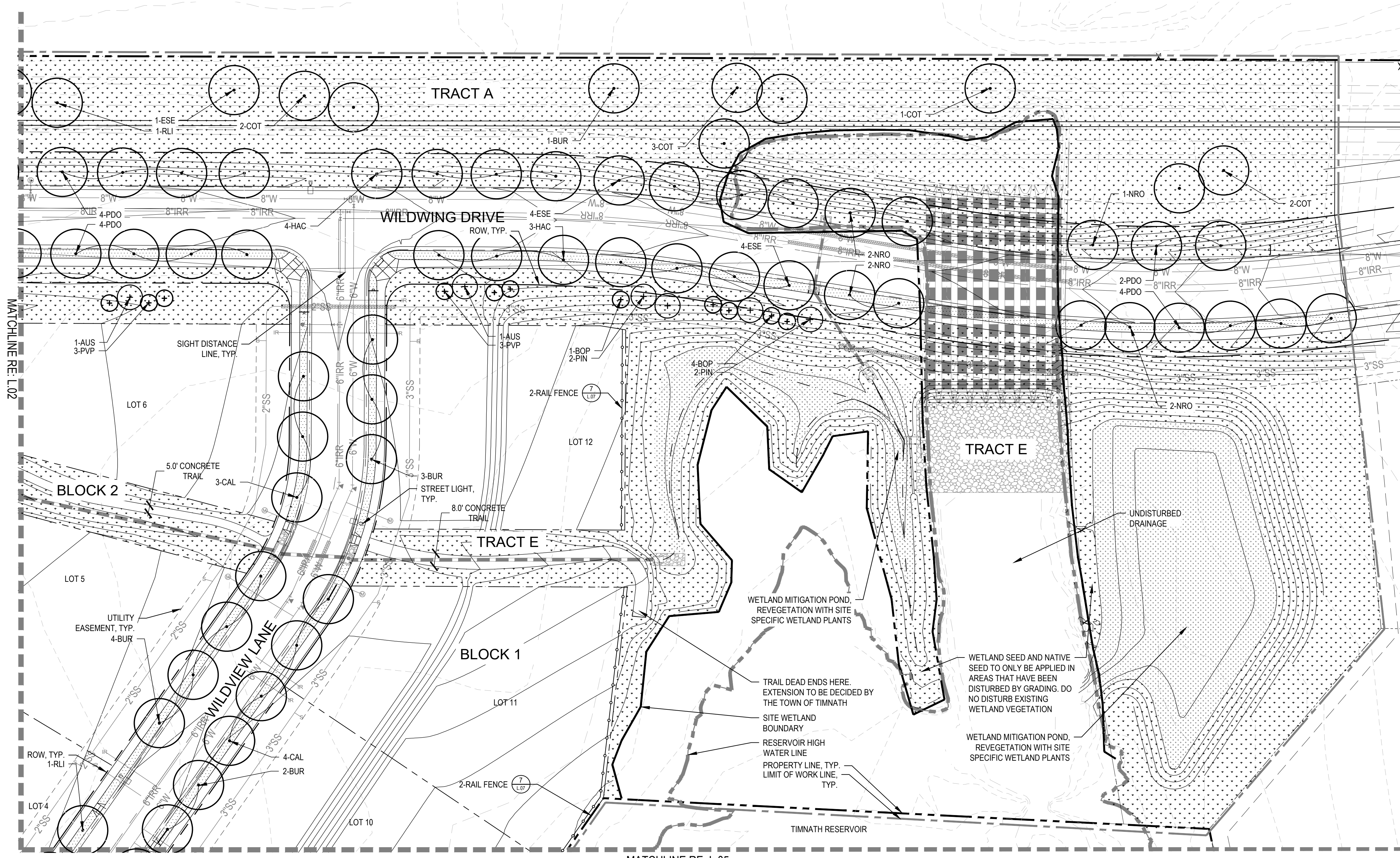
LEGEND

- DECIDUOUS CANOPY TREE
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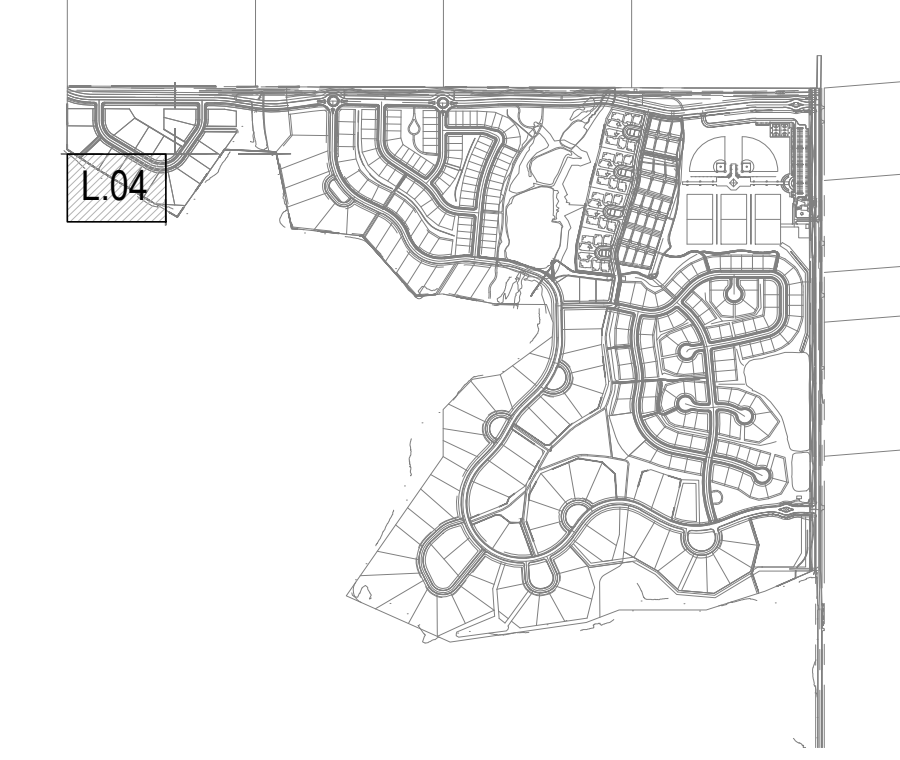
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CHECKED BY: BR. PM.
 DRAWN BY: MD. DMH



KEY MAP



LEGEND

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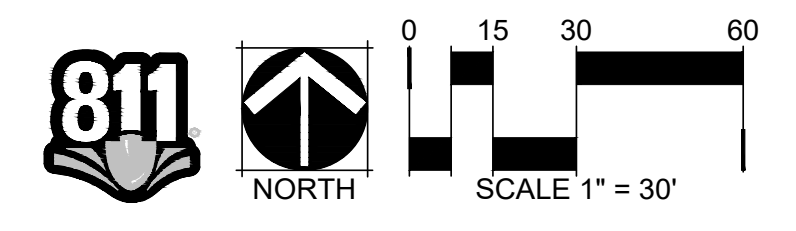
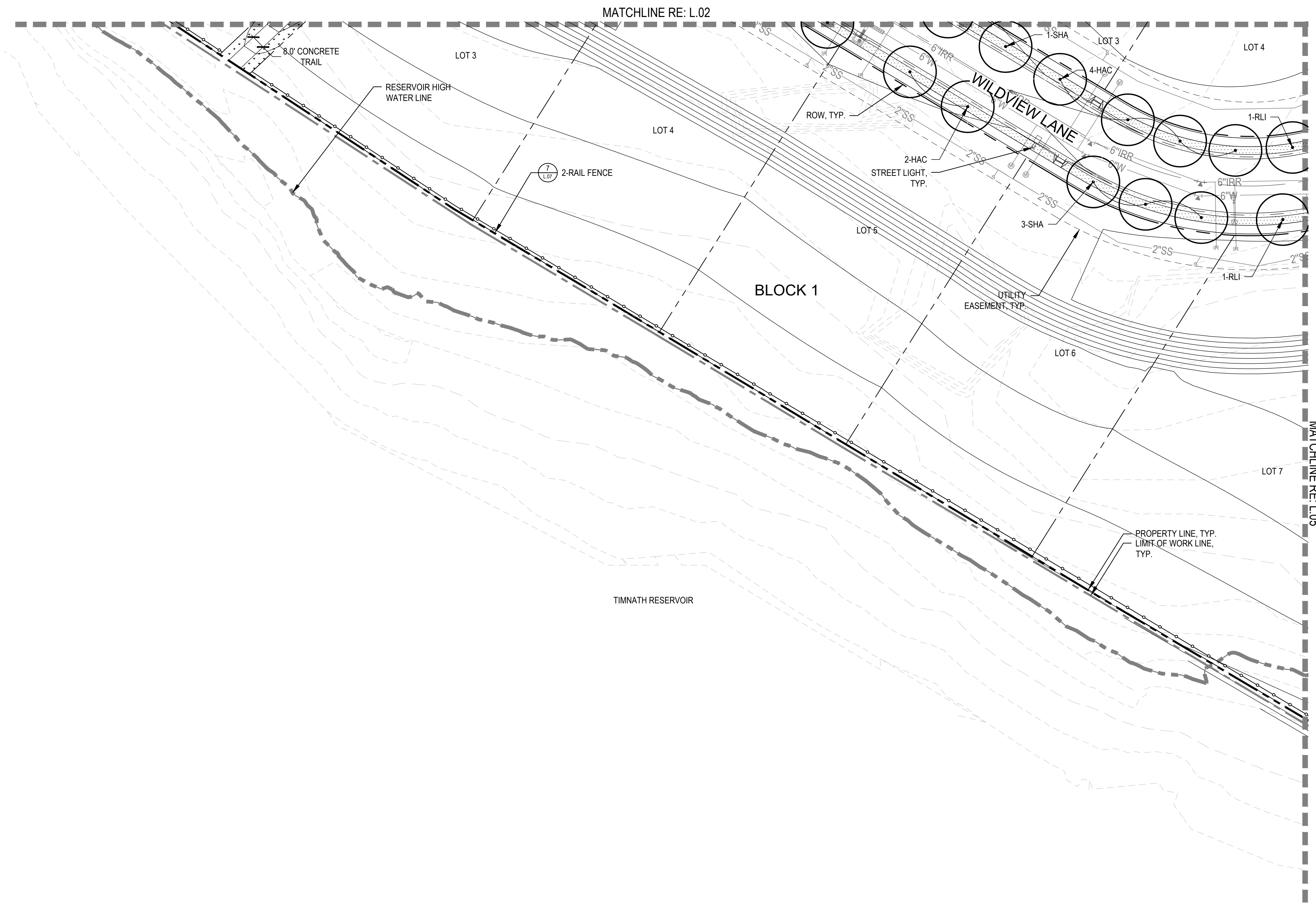
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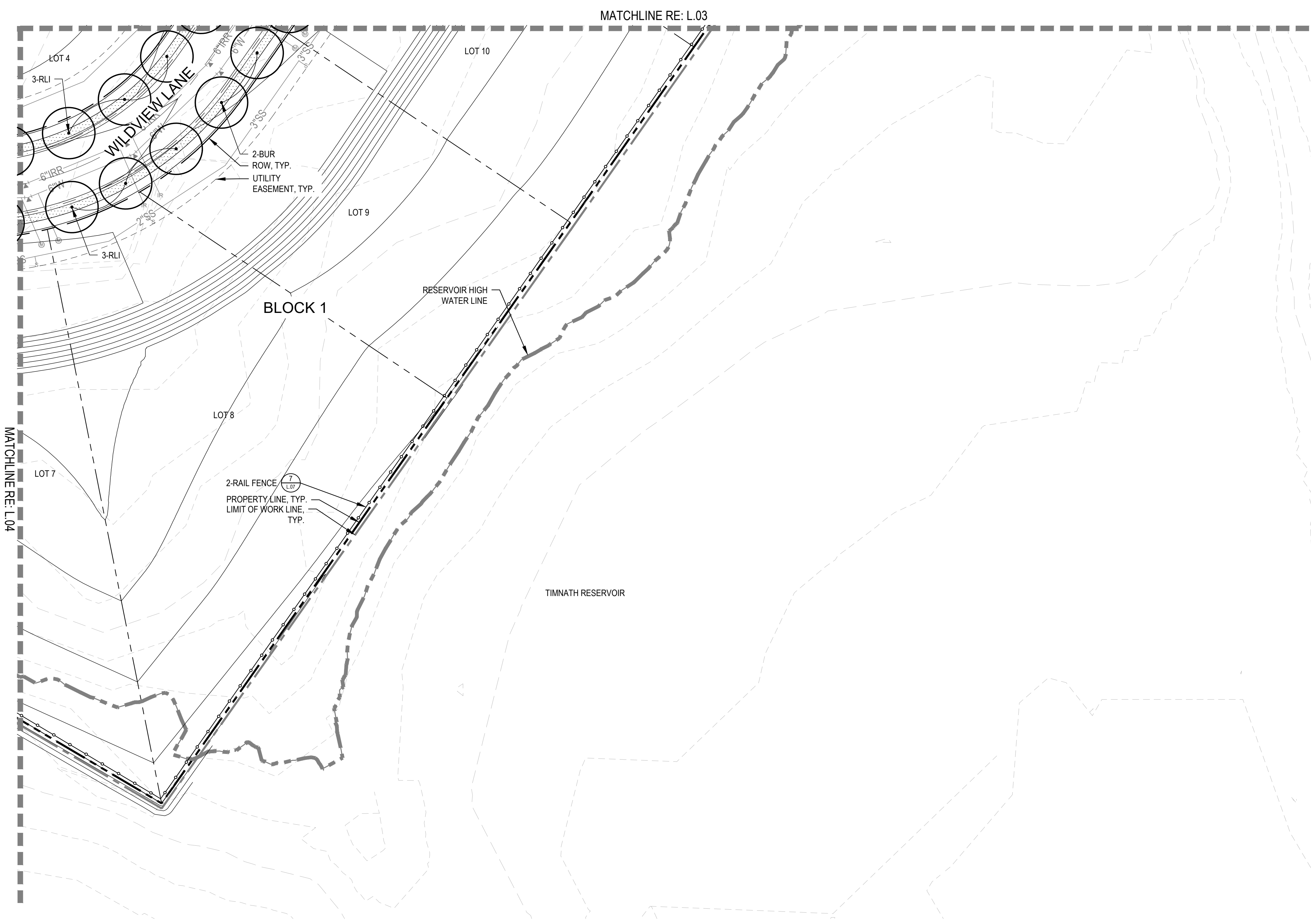
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SHEET TITLE:
 LANDSCAPE PLAN

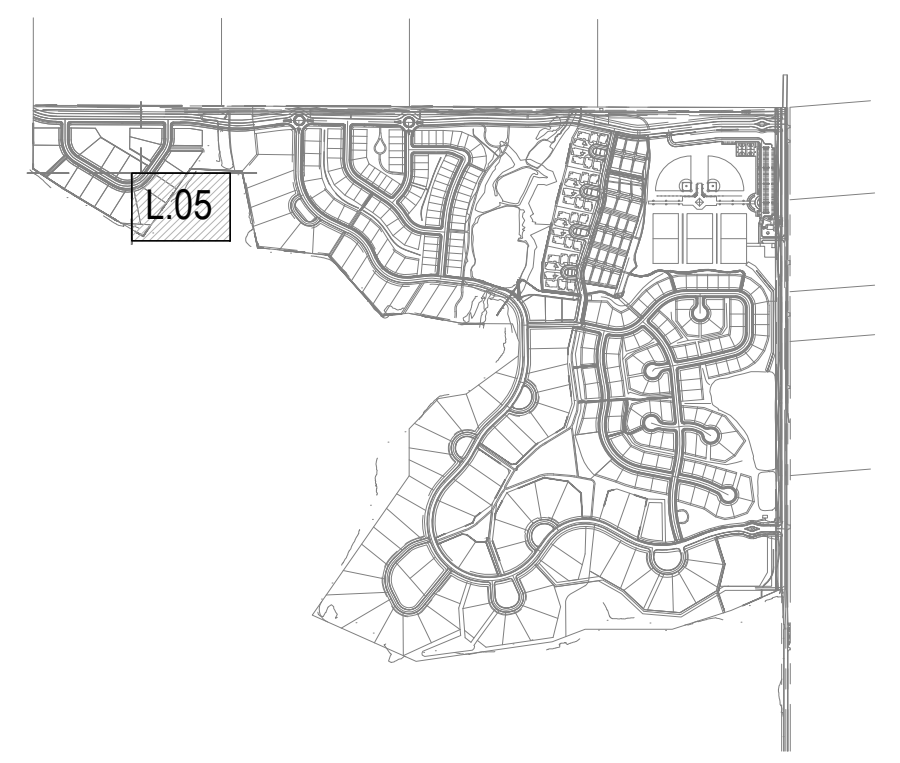
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CHECKED BY: BR. PM.
 DRAWN BY: MD. DMH





KEY MAP



LEGEND

- DECIDUOUS CANOPY TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- TURF GRASS
- SHRUB BED
- DRYLAND NATIVE GRASS
- WETLAND MITIGATION / REVEGETATION AREA
- COBBLE
- PAVING
- 2-RAIL FENCE
- LOT LINE
- STEEL EDGER
- MATCHLINE
- PROPERTY LINE
- LIMIT OF WORK
- SITE LIGHTING

NOTE

1. IRRIGATION DESIGN TO BE COMPLETED FOLLOWING THIS FINAL PLAT SUBMITTAL.
2. FENCING IS SHOWN OFFSET FROM PROPERTY LINES FOR GRAPHIC CLARITY. INSTALL LOCATION SHALL BE ON PROPERTY LINES.

WILDWING
 4TH FILING
 FINAL LANDSCAPE PLAN
 TIMNATH, CO

OWNER:
 WW DEVELOPMENT, LLC.

4801 GOODMAN RD.
 TIMNATH, CO 80547
 970.674.1109

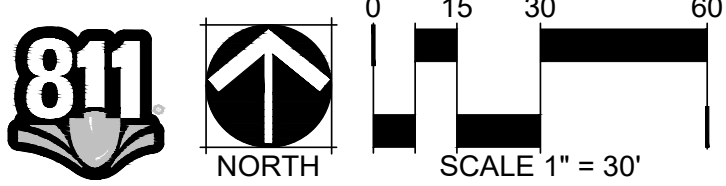
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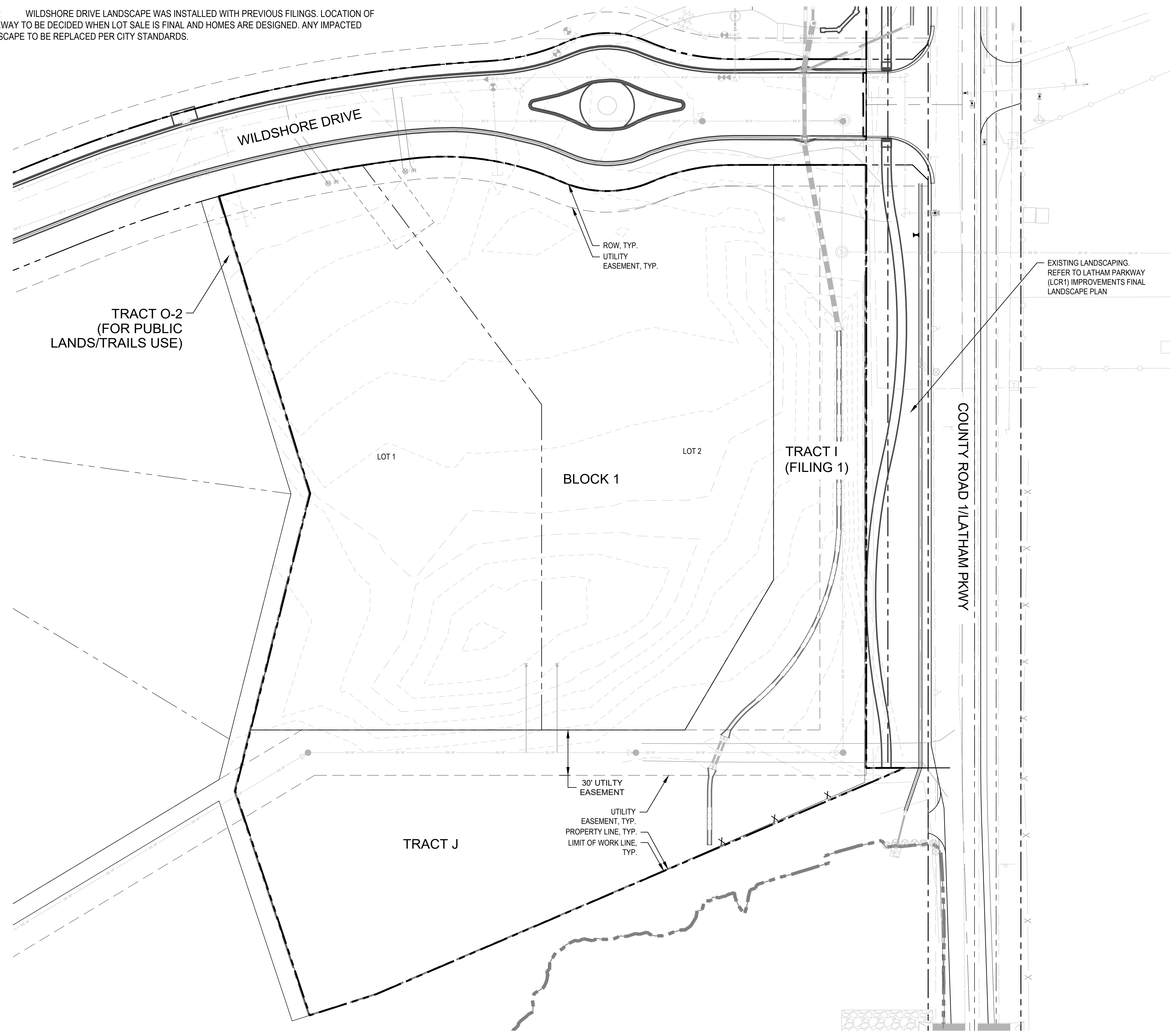
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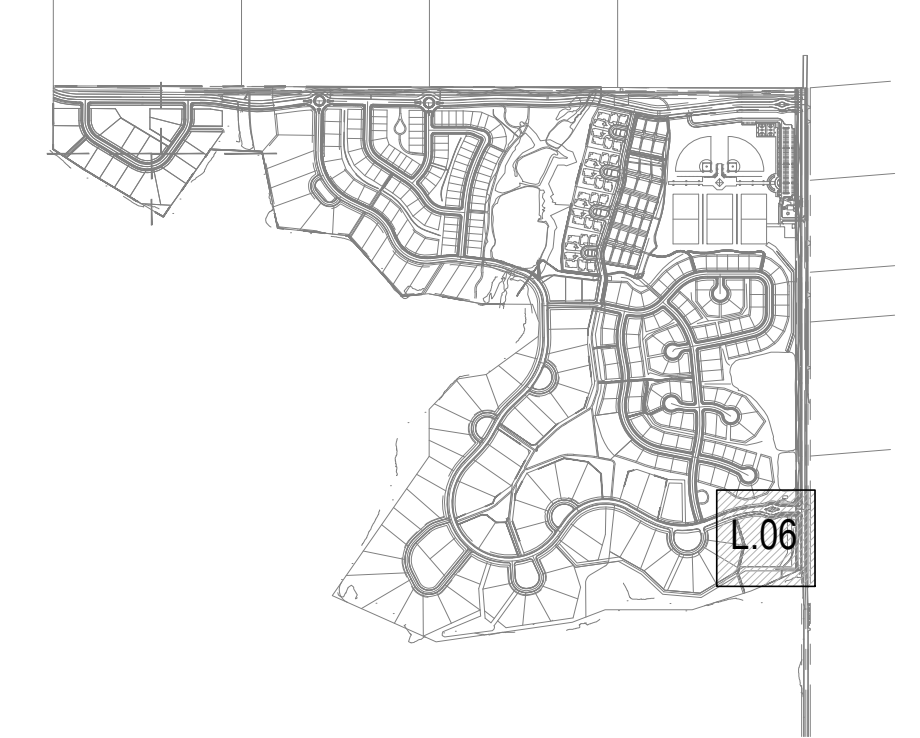


NOTE: WILDSHORE DRIVE LANDSCAPE WAS INSTALLED WITH PREVIOUS FILINGS. LOCATION OF DRIVEWAY TO BE DECIDED WHEN LOT SALE IS FINAL AND HOMES ARE DESIGNED. ANY IMPACTED LANDSCAPE TO BE REPLACED PER CITY STANDARDS.

NORRIS DESIGN
 Planning | Landscape Architecture | Branding
 1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 www.norris-design.com



KEY MAP



LEGEND

- PROPERTY LINE
- - - LIMIT OF WORK

WILDWING
 4TH FILING
 FINAL LANDSCAPE PLAN
 TIMNATH, CO

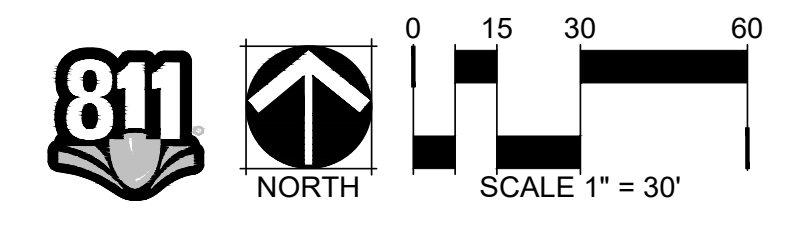
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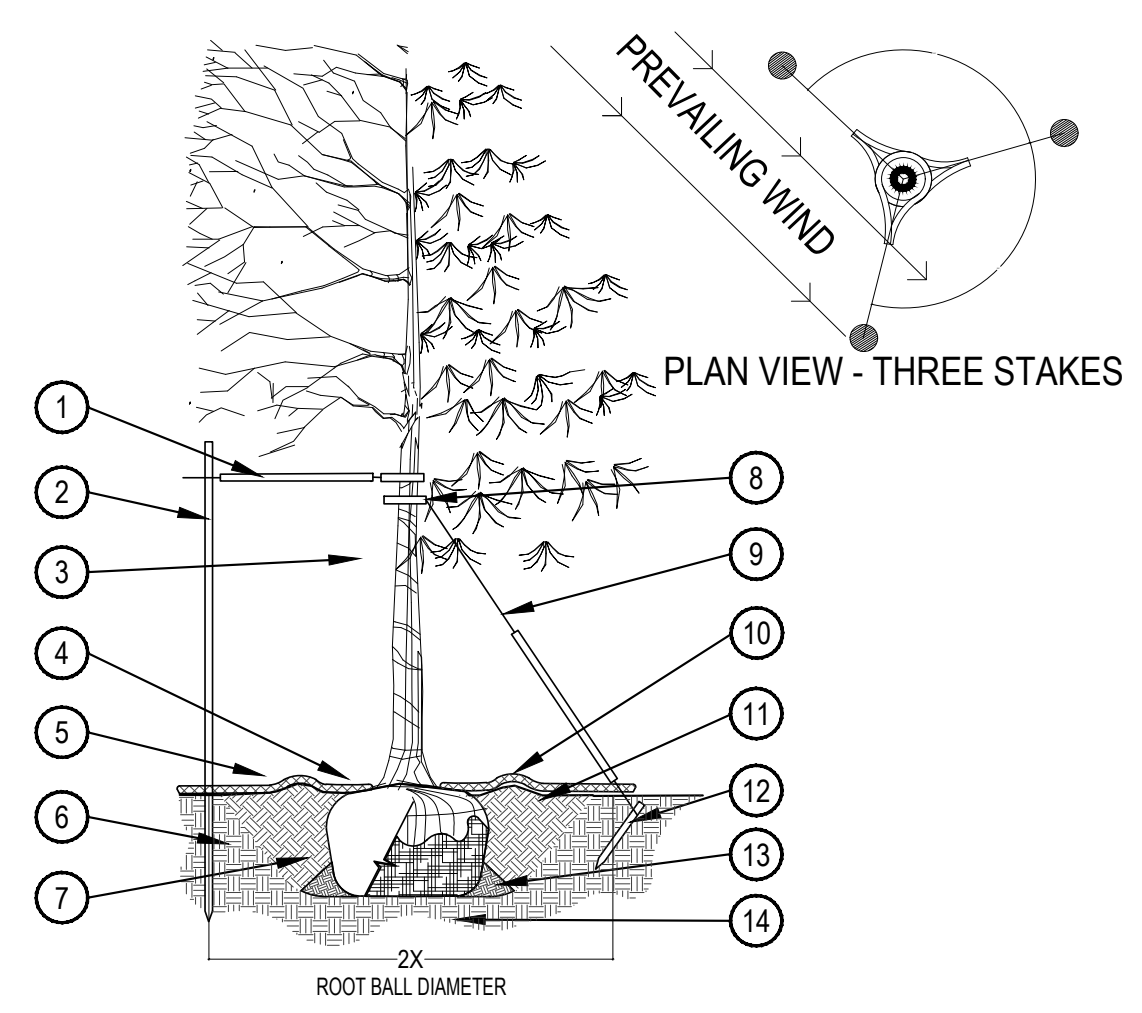
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 LANDSCAPE PLAN

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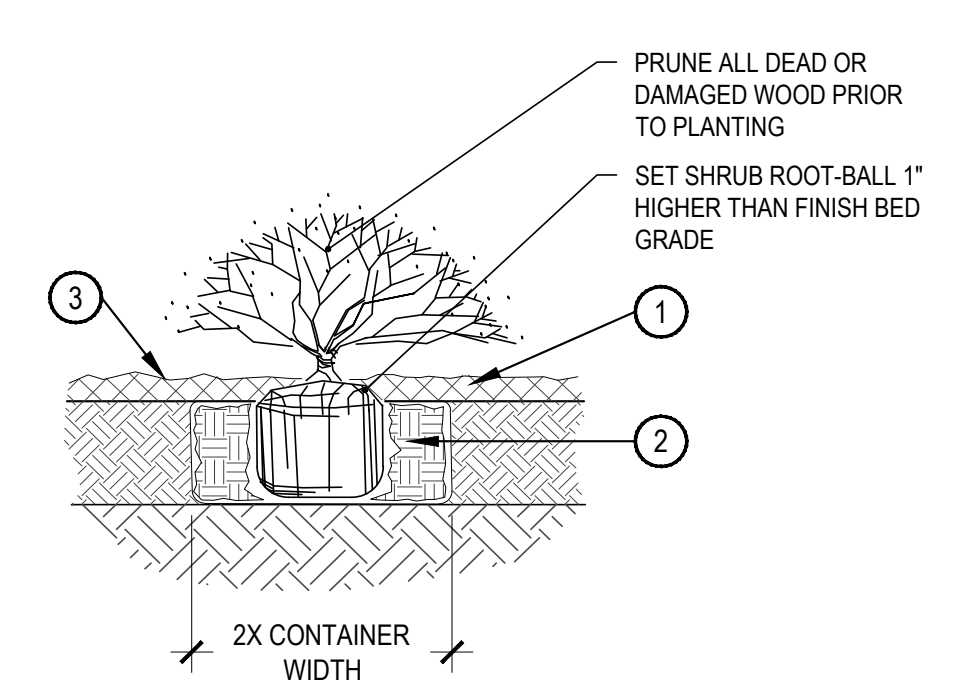


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- PRUNING NOTES:**
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 - WIRE OR CABLE SHALL BE MIN. 12 GAUGE. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

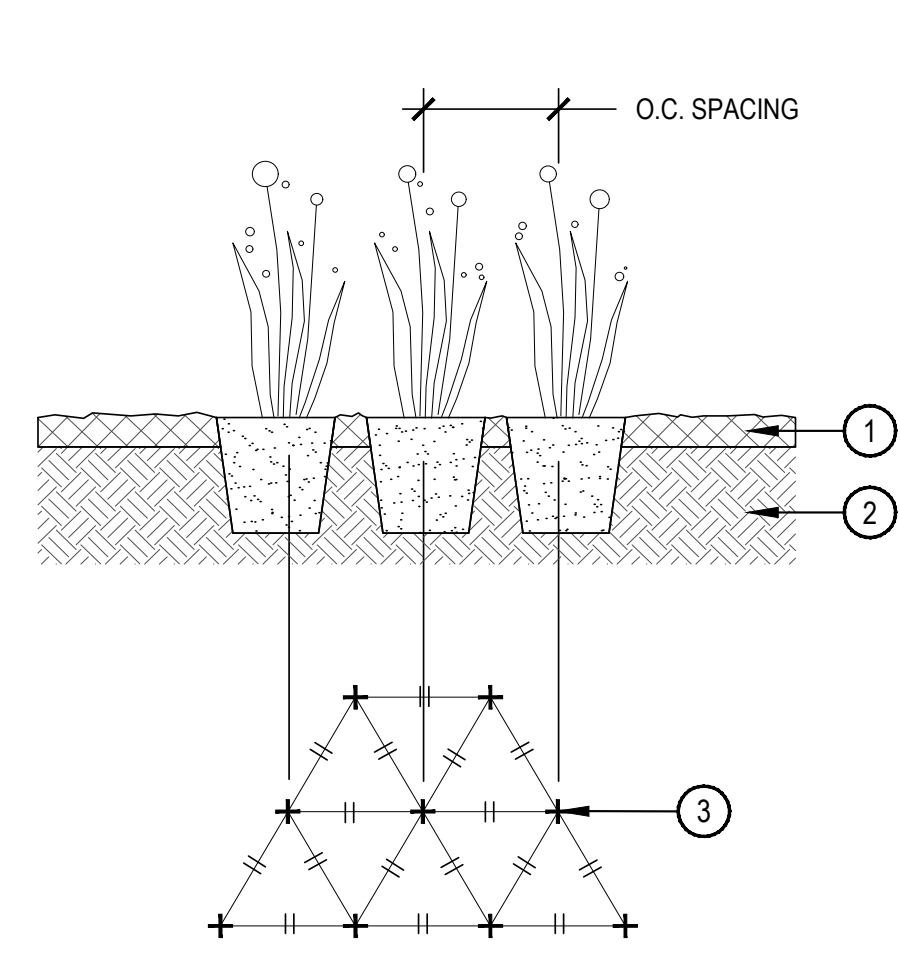
- PLACE MIN. 3/4" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.



- SPECIFIED MULCH
 - AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
 - FINISH GRADE (TOP OF MULCH)
- NOTE:**
- BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 - CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 - ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
 - DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

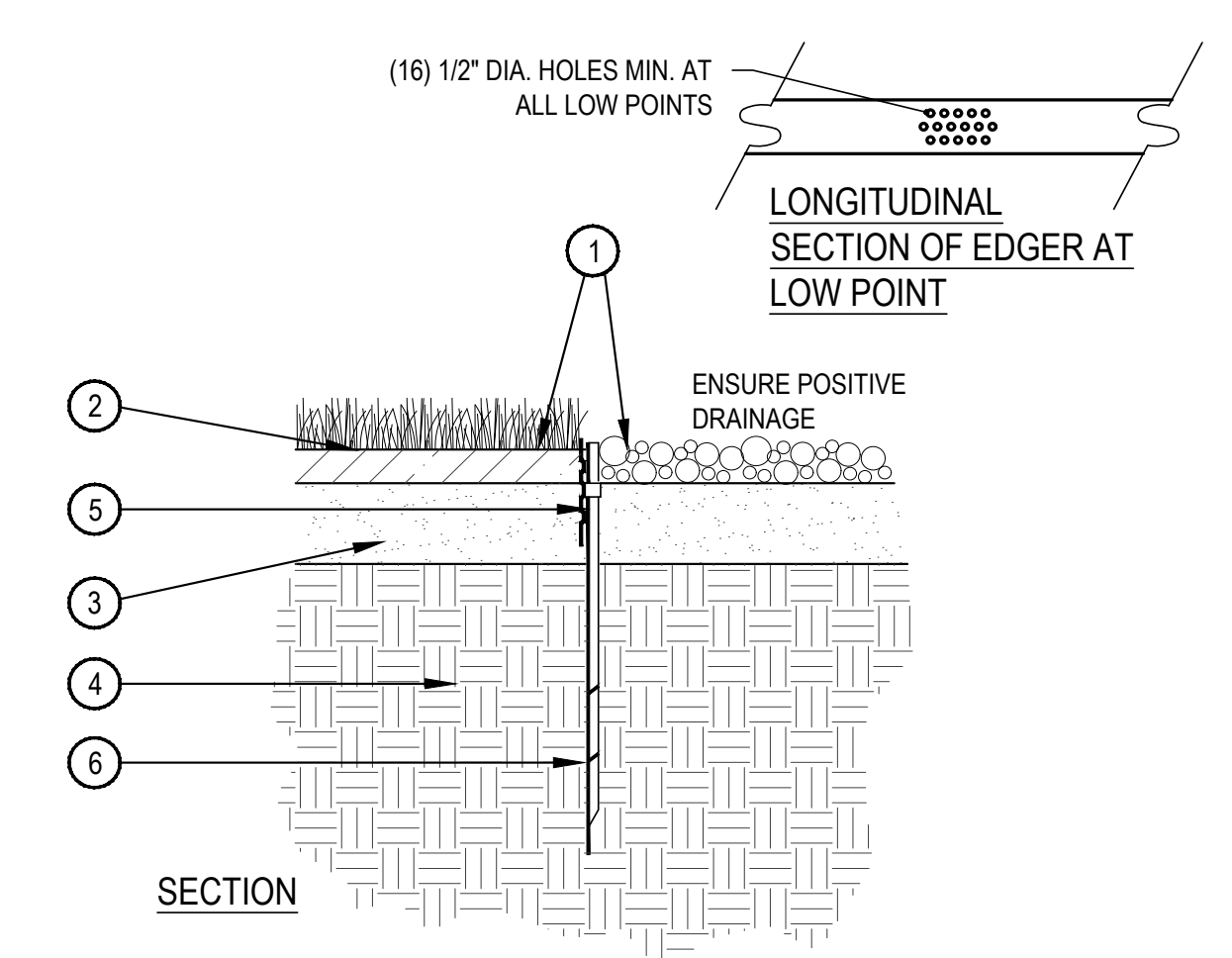
1 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



- SPECIFIED MULCH
- AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- CENTER OF PLANT

WHEN PLANTED ON A CURVE ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.



- FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR NATIVE SEED SHALL BE FLUSH WITH TOP OF EDGER
 - TURF THATCH
 - AMENDED SOIL PER SPECIFICATIONS
 - SUBGRADE
 - STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
 - EDGER STAKE
- NOTES:**
- THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 - CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

2 SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"



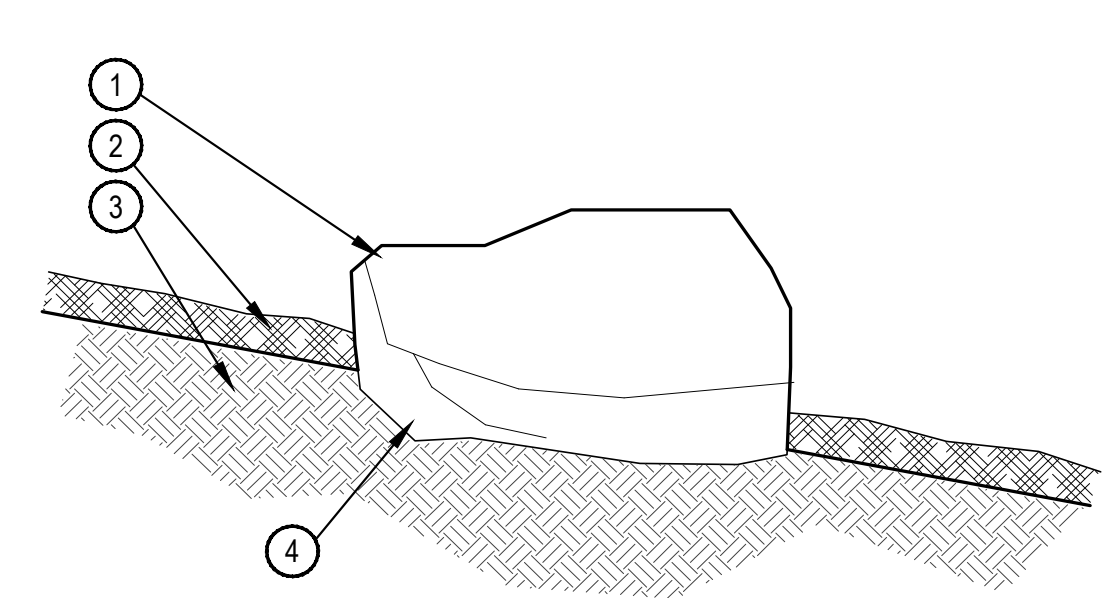
- LEXC6 BENCH BY ANOVA FURNISHINGS, OR APPROVED EQUAL
 WWW.ANOVAFURNISHINGS.COM
- 6" CONTOUR BENCH WITH STEEL SLAT SEAT, ARMRESTS AND SURFACE MOUNT LEGS
- DIMENSIONS: 33"H X 25" W X 75" L
- COLOR: TEXTURED BRONZE

NOTES:

- INSTALL PER MANUFACTURER'S INSTRUCTIONS

3 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"



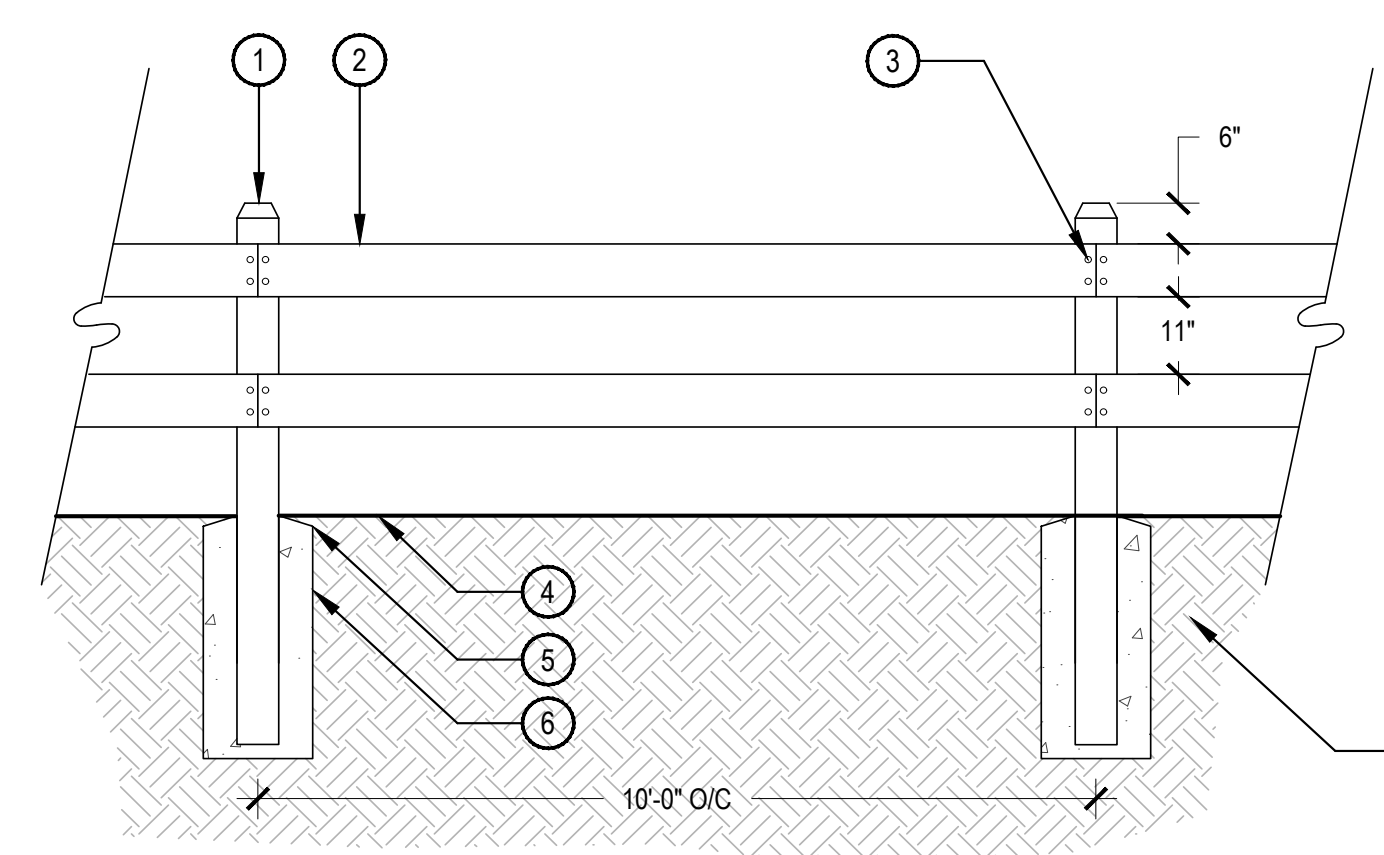
- BROWN MOSS ROCK BOULDERS RELOCATED FROM ON-SITE OR FROM NEARBY QUARRY. BOULDER SHOULD BE SIMILAR TO ROCK FOUND THROUGHOUT SITE. CONTRACTOR SHALL SUBMIT SMALL SAMPLE OR PHOTOS FOR APPROVAL.
- SPECIFIED MULCH RE: PLAN
- AMENDED TOPSOIL
- PARTIALLY BURY BOULDER FOR NATURAL APPEARANCE

REQUIRED BOULDERS:
 (2) - 1 TON BOULDERS
 (1) - 1 1/2 TON BOULDERS

- REFER TO PLANS FOR LOCATIONS.
 - THESE NUMBERS ARE FOR FREE STANDING BOULDERS ONLY.

4 STEEL EDGER

SCALE: 1" = 1'-0"



5 BENCH

N.T.S.

- 1" CHAMFERED TOP, 6"x6" CEDAR POST
- 2"x8" CEDAR RAILS
- 4 1/2" HEADLOCK SCREW
- FINISH GRADE
- SLOPE CONCRETE AWAY FROM POST
- CONCRETE FOOTING TO BE 3" MIN TO REACH BELOW FROST LINE
- COMPACTED SUBGRADE

NOTES:

- FENCE SHALL MATCH EXISTING RAIL FENCE INSTALLED WITH PREVIOUS FILINGS.
- ALL MATERIALS ARE ROUGH SAWN AND SHALL BE STAINED TO MATH OLYMPIC STAIN #730 TEAK.
- THIS DETAIL IS FOR LOT PERMITER FENCING. REFER TO PLANS FOR LOCATIONS. FENCING BETWEEN LOTS IS THE HOMEOWNER'S RESPONSIBILITY.

6 LANDSCAPE BOULDER

SCALE: 3/4" = 1'-0"

7 2 RAIL FENCE

SCALE: 1/2" = 1'-0"

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